



Calcasieu Parish Sheriff's Office

TONY MANCUSO, SHERIFF AND EX-OFFICIO TAX COLLECTOR

Parish of Calcasieu • 5400 E. Broad Street • Lake Charles, LA 70615
Phone (337) 491-3700 • Fax (337) 494-4522

QUOTE REQUEST

Individual Requesting Quote: Scott Cupicciotti Project Name: CPSO- Prison Roof R&R
 Quote Due Date & Time: Thursday 10/22/2020 Project Director: Scott Cupicciotti
10:00AM CST Project Start Date: 5 Business days after contract
 Date of Request: Monday 10/19/2020 award.
 Department: Corrections Project Completion Date: 40 Business days after
 Phone Number: 904-445-9646 start date.
 Grant Name & #: N/A

All responses to this quote solicitation must be completed using this form and must be transmitted using one of the two delivery options below:

- (1) Email: nory@cpsso.com
- (2) Physical Delivery: Accounting – 5716 Broad St. Lake Charles, LA 70615

ALL OTHER TRANSMISSIONS WILL NOT BE ACCEPTED OR HONORED.

The Calcasieu Parish Sheriff's Office is requesting detailed, itemized, written quotes for the following scope of work/project:

Scope of work/Project Description: CPSO-Prison/Maintenance Roof Replacement

1. See attachment Exhibit A for scope of work/ specifications/ additional requirements/clarifications
2. Please note: Due to quotes exceeding \$50,000, quotes/bid package shall be hand delivered in a sealed envelope to Purchasing with an applicable Louisiana Contractor's License number printed on the outside of the envelope.

Specific insurance will be required will not be required for the completion of the scope of work/project above. If specific insurance will be required, please see attached insurance requirements.

A separate contract will be required will not be required prior to completion of the scope of work/project above. If separate contract is not required, this quote request will become the contract.

Any public works contract (as defined by **LA R.S. 38:2211(12)**) which is greater than **\$25,000** requires a **100% payment and performance bond**. Any quotes greater than or equal to the following shall be delivered in a sealed envelope to Purchasing with an applicable Louisiana Contractor's License number printed on the outside of the envelope: **\$50,000** for public works; **\$10,000** for electrical and mechanical; and **\$1** for hazardous materials.

Vendor's Price Quote Excluding Taxes: \$_____ If requested, the Calcasieu Parish Sheriff's Office will provide a tax-exempt certificate. Quotes must be inclusive of all costs (material, labor, installation, FOB destination, freight prepaid & allowed, any rentals, fees if required, etc).

Quote effective from: _____ to _____

Quote submitted by: _____
Company Name

Company Phone Number: _____ Fax Number: _____

Signature of Person Submitting Quote Name Printed

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CONFIDENTIAL - SECURITY INFORMATION

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Exhibit A-CPSO Prison Roofs

1. Scope of Work/Specifications-Flat Roofs/Standing Seam-Attachment.
2. Site Maps/Overhead-Building numbers for bidding-Attachment.
3. Insurance requirements-Attachment.
4. Mandatory site visit to confirm scope/specifications-Attachment.
5. Start Date: 5 Business days after contract award.
6. Completion Date: 40 Business days after start date.
7. Price to include removal of existing HVAC equipment to ground as needed.
8. Price to include removal of roof rents/fans/heating units to ground as needed.
9. Price to include disposal of demo materials. Dumpster costs and disposal fees to be included in price.

SECTION 01010

SUMMARY OF WORK

PART 1 GENERAL

1.01 SUMMARY

A. Project Summary:

Calcasieu Parish Sheriff's Complex
5310 Broad St
Lake Charles, LA 70615

CPSO Prison Facility-Buildings #1 to #4 TPO

1. Remove modified gravel roof, lightweight concrete and sheet metal items down to the metal pan.
2. Remove existing 26 ga. galvanized pan.
3. Provide new 22 ga. galvanized B deck and secure to bar joist with using the applicable design codes, namely IBC 2015 and ASCE 7-10. Fasten with #12-24 Tek Screws fastened at a 36-7 pattern are sufficient for all locations of the roof.
4. Provide and install new roof hatch to match existing. Ensure base flashing height is a minimum of 8" above finished roof height.
5. Provide new wood blocking fastened according to FM 1-49 Loss Prevention Data Sheet.
6. Mechanically attach 2.0" Polyisocyanurate (Iso) insulation, 2.5" Polyisocyanurate Insulation, 1/4" tapered Iso Insulation, 1/2" tapered Iso crickets and 1/2" gypsum board utilizing #14 HD fasteners and 3" plates. Fastening pattern shall be 24 fasteners per 4x8 board in Zone 1 and Zone 2 and 36 fasteners per 4x8 board in Zone 3. Slope to internal drains. Insulation to be provided by Modified Bitumen Manufacturer.
7. Heat fuse one ply of a Type III, SBS modified base sheet (HPR Torch Base by The Garland Company, Inc.) across the entire roof area in shingle fashion starting at the low points (drains).
8. Fabricate and install new 24ga stainless steel gravity vents, 24ga stainless steel pitch pans with hoods, and 4lb lead flashings at soil stacks and new drains.
9. Prime all metal flanges and set in a liberal bed of elastomeric sealant.
10. Strip in flanges with the specified SBS base sheet.
11. At all curb type penetrations, apply a SBS fire related self-adhered membrane and secure with termination bar.
12. Across the entire roof area and curb type penetrations, cold applied at a rate of 3 gallons per Square (Greenlock membrane adhesive) Type III, SBS Mineral Surfaced modified cap sheet (Optimax FR Mineral). Immediately broadcast granules into bleed out.
13. Apply one layer of a mineral surfaced cap sheet in flashing adhesive up wall and secure with termination bar.
14. Provide and install new ANSI SPRI ES-1 metal edge assembly (Rmer Force by The Garland Company, Inc.)
15. Apply two coats of a non-fibered aluminum coating (Garlabrite by The Garland Company, Inc.) across the entire roof area and flashings.
16. All roof top equipment shall be secured to the curbs with stainless wires or straps.

SECTION 01010

SUMMARY OF WORK

NOTE:

- Basis of Design: The Garland Company, Inc. (225) 266-5179.
- Contractor shall provide a FM Global Rated and Tested Assembly that meets or exceeds the required pressures.
- Metal Edge shall also meet or exceed ANSI/SPRI ES-1 requirement for pressures.
- Issue Owner 40-year edge to edge warranty with special wind rider for damage up to 130mph wind speed. Warranty shall include deck, insulation and metal edge assembly.
- *ASCE 7 wind uplift calculations shall be stamped by a licensed Engineer in the State of Louisiana.
- Manufacturer shall provide progress inspections a minimum of three day a week. The inspections shall be documented in writing along with progress photos ensuring the SOW is being followed. -Written reports shall be turned in by the end of the business day on Fridays.
- Successful bidder shall provide sample warranty with wind rider, a letter from the manufacturer that they are an authorized applicator and current printed details for all penetrations and walls prior to beginning work.

Maintenance Building-#9 TPO

1. Removed built up roof, lightweight concrete and related sheet metal items down to the concrete deck.
2. Provide new wood blocking fastened according to FM 1-49 Loss Prevention Data Sheet.
3. Prime concrete deck with quick dry primer and allow to dry.
4. Across entire roof are install one ply vapor barrier.
5. Provide and install 2.5" Polyisocyanurate (Iso) insulation, and ¼" tapered Iso insulation.
6. Provide and install ½" gypsum board to the tapered Iso insulation.
7. All insulation boards shall be set in ribbons of adhesive. Ribbons shall be 4" o.c. in Zones 1, Zone 2, and Zone 3. Zone width is 8'.
8. Heat fuse one ply of a Type III, SBS modified base sheet (HPR Torch Base by The Garland Company, Inc.) across the entire roof area in shingle fashion starting at the low points (drains).
9. Fabricate and install new 24ga stainless steel gravity vents, 24ga stainless steel pitch pans with hoods, and 4lb lead flashings at soil stacks and new drains.
10. Prime all metal flanges and set in a liberal bed of elastomeric sealant.
11. Strip in flanges with the specified SBS base sheet.
12. At all curb type penetrations, apply a SBS fire related self-adhered membrane and secure with termination bar.
13. Across the entire roof area and curb type penetrations, cold applied at a rate of 3 gallons per Square (Greenlock membrane adhesive) Type III, SBS Mineral Surfaced modified cap sheet (Optimax FR Mineral). Immediately broadcast granules into bleed out.
14. Apply one layer of a SBS mineral surfaced cap sheet in flashing adhesive up wall and secure with termination bar.
15. Provide and install new ANSI SPRI ES-1 metal edge assembly (Rmer Force by The Garland Company, Inc.)
16. Apply two coats of a non-fibered aluminum coating (Garlabrite by The Garland Company, Inc.) across the entire roof area and flashings.
17. All roof top equipment shall be secured to the curbs with stainless wires or straps.
18. Contractor shall include the disconnection of existing chill water lines prior to beginning work.

MEMORANDUM

TO: THE SECRETARY OF THE ARMY

FROM: THE CHIEF OF STAFF

SUBJECT: [Illegible text]

1. [Illegible text]

2. [Illegible text]

3. [Illegible text]

4. [Illegible text]

5. [Illegible text]

6. [Illegible text]

7. [Illegible text]

8. [Illegible text]

9. [Illegible text]

10. [Illegible text]

11. [Illegible text]

SECTION 01010

SUMMARY OF WORK

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- *ASCE 7 wind uplift calculations shall be stamped by a licensed Engineer in the State of Louisiana.
- Manufacturer shall provide progress inspections a minimum of three day a week. The inspections shall be documented in writing along with progress photos ensuring the SOW is being followed. -Written reports shall be turned in by the end of the business day on Fridays.
- Successful bidder shall provide sample warranty with wind rider, a letter from the manufacturer that they are an authorized applicator and current printed details for all penetrations and walls prior to beginning work.

C. Particular project requirements:

1. Existing site conditions and restrictions: The building will be occupied at the time of construction and care must be taken not to disturb normal operations of the occupants.

D. Permits: Apply for, obtain, and pay for permits required to perform the work. Submit copies to Owner.

E. Codes: Comply with applicable codes and regulations of authorities having jurisdiction. Submit copies of inspection reports, notices and similar communications to Owner.

F. Dimensions: Contractor is responsible to field verify dimensions and penetrations.

G. Existing Conditions: Notify Owner of existing conditions differing from those indicated on the drawings. Do not remove or alter structural components without prior written approval.

H. Definition for terms used in the Specifications:

1. Provide: Furnish and install, complete with all necessary accessories, ready for intended use. Pay for all related costs.
2. Approved: Acceptance of item submitted for approval. Not a limitation or release for compliance with the Contract Documents or regulatory requirements. Refer to limitations of "Approved" in General and Supplementary Conditions.
3. Match Existing: Match existing as acceptable to the Owner.
4. Intent: Drawings and Specifications are intended to provide the basis for proper completion of the work suitable for the intended use of the Owner. Anything not expressly set forth, but which is reasonable implied or necessary for proper performance of the project shall be

SECTION 01010

SUMMARY OF WORK

included.

5. Writing Style: Specifications are written in the imperative mode. Except where specifically intended otherwise, the subject of all imperative statements is the Contractor. For example, "Provide tile" means Contractor shall provide tile.

PART 2 - PRODUCTS - Not applicable to this Section.

PART 3 - EXECUTION - Not applicable to this Section.

END OF SECTION

PART 2 GENERAL

2.01 SUMMARY

- A. Project Summary:
 Calcasieu Parish Sheriff's Complex
 5310 Broad St
 Lake Charles, LA 70615

Hydro-static Metal Roof Assembly

1. Remove existing roof down to existing structure
2. Install vapor control layer for air barrier with breathable qualities at vertical wall assemblies
3. Install vapor control underlayment 6" up vertical substrate walls including dormer, head walls and side walls adjoining metal roof system
4. Install batt style insulation per current code. Insulation shall be supported by a simple saver system
5. Install metal roof system and components per engineered installation drawings provided by Manufacturer.
6. Install Clips per Wind Uplift calculations and fastening pattern
7. Install new flashing on side walls and head walls
8. Install all perimeter termination flashing per Engineered Drawings
9. Fasteners to be specified in engineered shop drawings by Manufacturer
10. Install gutter system per shop drawings provided by Manufacturer
11. Install pop rivets per shop drawings provided by Manufacturer
12. Install sealant per shop drawings provided by Manufacturer
13. Install butyl in valley and perimeter locations per shop drawings provided by Manufacturer
14. Roofing Contractor responsible for provided dumpsters Roofing Contractor responsible for scheduling and dropping dumpster at designated areas on campus provided during pre-construction meeting conducted by manufacturer rep
15. Roofing Contractor required to have full time employee/ supervisor onsite during any and all work is being performed. Roofing Contractor will be required to be present for weekly progress reports
16. Roofing Contractor is responsible for providing schedule from staging metal to completion of installation of roof system with dates weather permitting
17. Roofing Contractor responsible for ensuring exposed roof deck is water tight every day before installation technicians leave job site
18. Roofing Contractor is responsible for maintaining a clean environment on roof deck, sidewalks, grounds and any other locations on campus work is be performed
19. Roofing Contractor is responsible for 5 Year Workmanship Warranty
20. Manufacture's 20 year warranty.
21. Roofing Contractor is responsible for 1st Year of Maintenance of Roof System from date of approved completion by all parties including Manufacturer and Roofing Contractor.
22. Roofing Contractor is responsible for 48 Hour Leak Response during 5 Year Workmanship Warranty.

August 17
August 18
August 19
August 20

1887

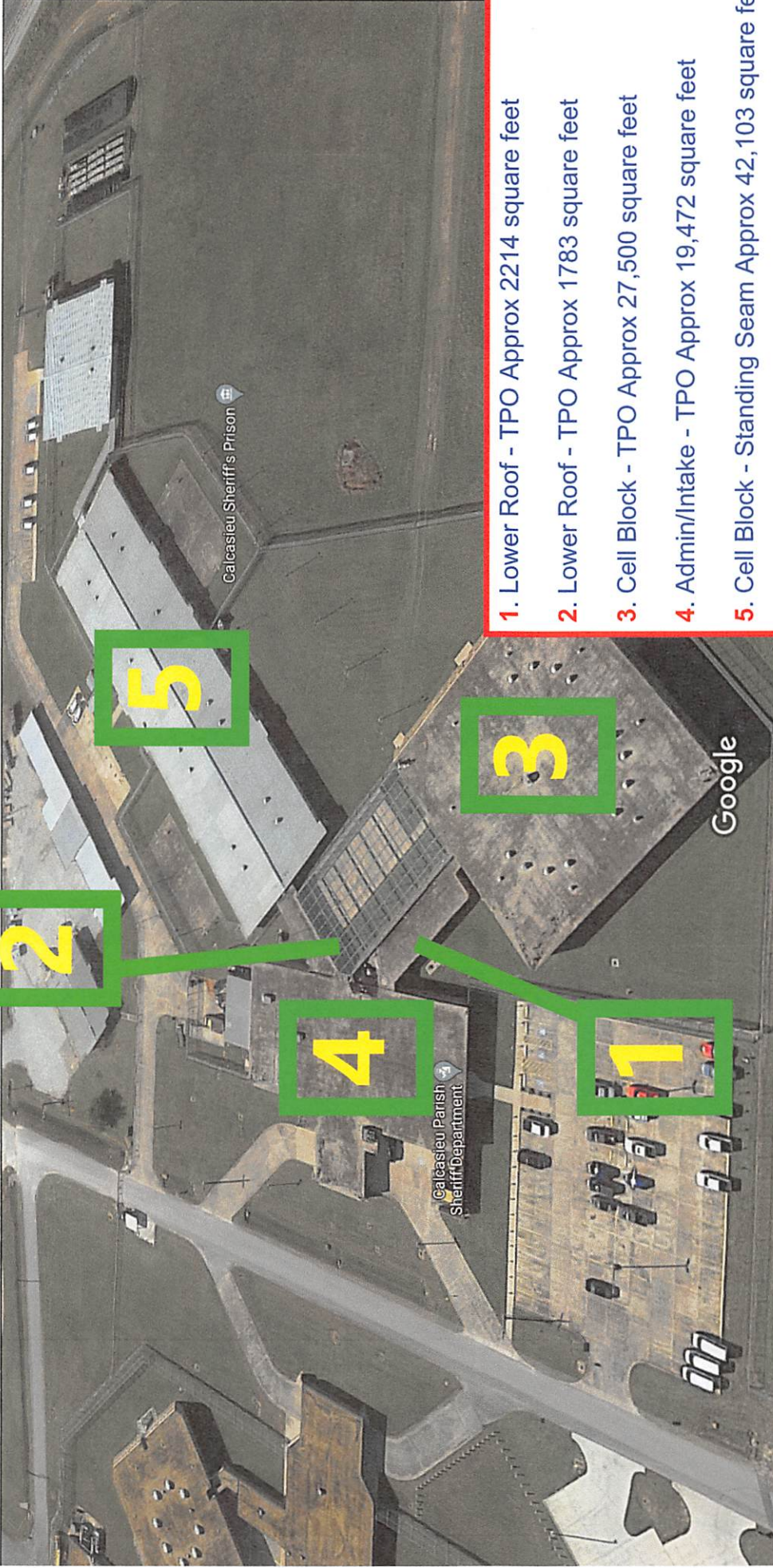
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23. Roofing Contractor providing bid to remove and replace metal roof panels at any Calcasieu Sheriffs Dept properties is required to carry Louisiana approved commercial roofing contractor license. Copy of license required to submitted at time of solicited bid.
24. Manufacturer to provide shop drawings to roofing contractor with clip fastening pattern and detail application.

END SCOPE OF WORK SECTION

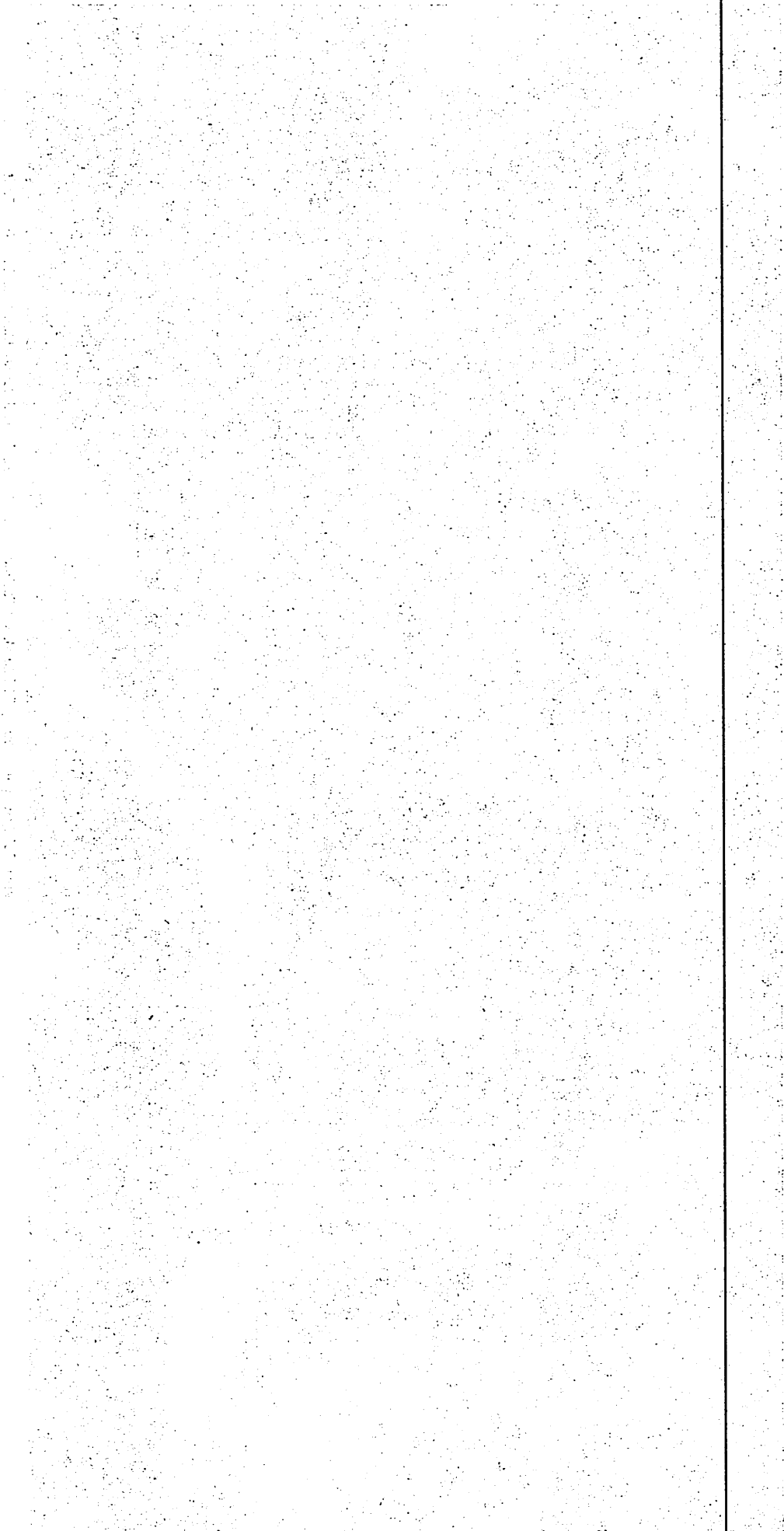
the United States and the world. The United States is a leader in the world in many areas, and we are proud to be a part of this great country. We are committed to the values of freedom, democracy, and the rule of law. We are committed to the well-being of our people and to the peace and stability of the world. We are committed to the progress and prosperity of our nation and to the betterment of the human condition. We are committed to the values of honesty, integrity, and respect for the rights of all people. We are committed to the values of hard work, determination, and perseverance. We are committed to the values of courage, compassion, and kindness. We are committed to the values of justice, equality, and fairness. We are committed to the values of hope, faith, and love. We are committed to the values of peace, harmony, and unity. We are committed to the values of freedom, democracy, and the rule of law. We are committed to the values of freedom, democracy, and the rule of law. We are committed to the values of freedom, democracy, and the rule of law.

UNITED STATES OF AMERICA



- 1. Lower Roof - TPO Approx 2214 square feet
- 2. Lower Roof - TPO Approx 1783 square feet
- 3. Cell Block - TPO Approx 27,500 square feet
- 4. Admin/Intake - TPO Approx 19,472 square feet
- 5. Cell Block - Standing Seam Approx 42,103 square feet





**Calcasieu Parish Sheriff's – Insurance Requirements
for Projects Twenty-Five Thousand and Greater**

Where applicable, any Contractor, Subcontractor, Consultant, Architect, Engineer, Other Professional or Vendor (hereinafter referred to as Contractor collectively), who performs services for the Owner in the amount of twenty-five thousand dollars or greater shall maintain the following insurance coverage with insurance companies acceptable to the Owner. Those insurance companies must be rated by A.M. Best Rating Guide with an A-VII rating or better. In the event that insurance requirements are included elsewhere within any other procurement documents, the requirements contained within this article shall supersede any such reference.

In connection therewith, the Contractor agrees to provide to the Owner, at the Contractor's expense and prior to any entry on the Owner's property, proof of casualty insurance, including workers compensation, coverage set forth. The Contractor agrees to furnish to the Owner certificates evidencing said insurance coverage for the full terms of this agreement which certificates shall name the Owner as an Additional Insured on all policies except workers compensation and professional liability policies. The Additional Insured endorsement specific to General Liability coverage shall include both on-going and completed operations coverage. The additional insured endorsements shall be at least as broad as the *Insurance Services Offices forms CG 20 10 and CG 20 37, 07/04* edition forms, through the period of repose. All policies except for professional liability policies, shall include a Waiver of Subrogation in favor of the Owner and shall be evidenced on the certificate. Notice of cancellation shall be provided in accordance with policy cancellation provisions. Insurance provided shall be primary and non-contributory.

The Contractor agrees to maintain the coverage limits and endorsements as listed herein. The Contractor's obligation to provide the required insurance will not be waived by the Contractor's failure to provide the certificate of insurance, the Owner's acceptance of a certificate of insurance showing coverage varying from the required coverage, or the Owner's allowance to commence work.

No work shall commence under any contract until the following insurance coverage is obtained, by the Contractor:

(1) Worker's Compensation

(a) Standard Louisiana Coverage (Always Required)- Worker's Compensation Coverage:

- (i) Should cover all employees, including owners, (ii) must be statutory for medical and indemnity and (iii) should have a minimum limit for employer's liability of:

Employer's Liability -	\$1,000,000 per accident
	\$1,000,000 each employee – disease
	\$1,000,000 policy limit – disease

(b) USL & H or Jones Act Coverage (depending on the body of water)

Required Not Required

When specifically required by the Owner (as denoted with an "X" in the above "Required" box), the Contractor shall procure and maintain during the life of this contract Worker's

THE UNIVERSITY OF MICHIGAN LIBRARIES
ANN ARBOR, MICHIGAN 48106-1500

The University of Michigan Libraries is pleased to announce the availability of a new service to our patrons. This service, known as the "Michigan Digital Library," provides access to a vast collection of digital resources, including books, journals, and electronic journals. The service is available to all users of the University of Michigan Libraries and is accessible through the University of Michigan Libraries website. For more information, please contact the University of Michigan Libraries at (734) 763-1000.

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Compensation specifically covering maritime activities. The scope of the project will determine whether maritime insurance is required but if the project is going to be performed over any body of water then this separate coverage should be obtained.

(2) Comprehensive General Liability Insurance (Always Required)

The term Contractor refers collectively, where applicable, to any Contractor, Subcontractor, Consultant, Architect, Engineer or Vendor performing services for the Owner.

(a) Comprehensive General Liability (“Claims Made Policies” may not be used)

\$1,000,000 per occurrence
\$2,000,000 general aggregate (Q Limit applies to specific project^] Limit applies to policy)
\$1,000,000 products / completed operations aggregate \$1,000,000 personal injury and advertising coverage

Sub: Comprehensive General Liability

Any Sub Contractors utilized will be Required Not Required to maintain the above comprehensive general liability policy limits.

(b) Automobile Liability (Owner, Non-Owned, and Hired Car)

\$1,000,000 per occurrence

Sub: Automobile liability

Any Sub Contractors utilized on the project will be Required Not Required to maintain the above automobile liability policy limit

(c) Umbrella Policy

Unless specifically excluded for project specific reasons, the Contractor shall procure and Maintain during the life of this contract an Umbrella Policy as follows:

\$5,000,000 each occurrence Coverage Specifically Excluded for this Project
\$5,000,000 general aggregate

(3) Owner’s Contractor Protective Liability Policy (OCP Policy)

Required Not Required

When specifically required by the Owner (as denoted with an “X” in the above “Required” box), The Contractor shall procure and maintain during the life of this contract an Owner’s Contractor Protective Liability Policy (OCP) in a minimum amount of \$1,000,000 (per occurrence) and

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\$2,000,000 (general aggregate). This type of policy provides the Owner with separate coverage up to the above limits as opposed to shared coverage when the Owner is only named as an additional insured on the Contractor's main policy.

(4) Property Insurance (Builder's Risk Insurance)

Required Not Required

Coverage shall be All Risk, Including Flood. A separate NFIP policy will be allowed.

When specifically required by the Owner (as denoted with an "X" in the above "Required" box), the Contractor shall purchase and maintain property insurance covering the work site up to the full insurable value equal to the Contract sum and the insurance shall be endorsed to comply with any waiver of rights provisions. The property insurance shall be "All Risks Builder's Risk Completed Value Form" insurance or equivalent manuscript policy, and shall include without limitation, insurance against all perils.

The property insurance shall also contain an endorsement or specific provision to cover damages, losses and expenses incurred in the repair or replacement of any insured property (including, but not limited to charges of engineers, architects, attorneys and others). The Property insurance also shall include by endorsement or special provision the following additional coverage elections: operational testing (if risk is present), off premises storage not on the site or in transit and property in transit. When required, no work may commence on the site until the Builder's Risk Insurance is obtained.

The Contractor is to provide Builder's Risk Insurance to protect the Owner, Architect, Engineer, Contractor, and any Subcontractors as to any interests that may exist. Until acceptance of work by the Owner, all work in connection with a particular contract is in the custody, charge and care of the Contractor who will take every necessary precaution against injury or damage to any part thereof whether arising from execution or from the non-execution of the work.

Contractor shall be responsible for payment of the deductible for Builder's Risk Insurance or any other property coverage deemed required to be purchased for this Contract, whether acquired by the owner or otherwise.

(5) Errors & Omissions Policy (Professional Liability Insurance)

(Applicable Only to Professional Services Contracts including, but not limited to, Architect, Engineer, Consultant or Other Professional Contracts)

Required Not Required

This policy covers negligent acts, errors and omissions in its performance of professional Services with minimum policy limits of \$1,000,000 per claim and \$1,000,000 general aggregate.

Section B – Other Insurance Requirements

(1) Additional Insured Classification and Waiver of Subrogation (Always Required)

The Owner must be listed as an additional insured on all policies except for worker's compensation and professional liability insurance policies. All policies will provide notice of cancellation in accordance with policy provisions. Waiver of subrogation will be given to the Owner on all policies, which means that the Contractor's insurer(s) will have no right of recovery or subrogation against the Owner.

Except for professional liability insurance, it is the intention of the parties that the insurance policy shall protect both parties and be PRIMARY AND NON CONTRIBUTORY COVERAGE for any and all losses covered. Again all policies required above shall be primary to any insurance carried by the Owner. The insurance companies shall have no recourse against the Owner for payment of any premiums or for assessments under any of the above policies.

(2) Indemnification for all Contractors, Except for Architects, Engineers or Other Licensed Professionals (Always Required)

The Contractor will indemnify, defend, and hold harmless the owner, including the owner's employees and agents, from and against any and all claims or liabilities, arising from the fault of the Contractor, its employees, subcontractors or agents in carrying out the Contractor's duties and obligations under the terms of this agreement. This section will survive the termination of any agreement. In the event that either party takes any action to enforce this mutual indemnity provision, the prevailing party shall be entitled to recover reasonable attorney's fees and costs arising as a result thereof.

(3) Indemnification for Architects, Engineers or Other Licensed Professionals (Always Required)

The Contractor will indemnify and hold harmless the owner, including the owner's employees and agents, from and against any and all claims or liabilities, arising from the fault of the Contractor, its employees, subcontractors or agents in carrying out the Contractor's duties and obligations under the terms of this agreement. This section will survive the termination of any agreement. In the event that either party takes any action to enforce this mutual indemnity provision, the prevailing party shall be entitled to recover reasonable attorney's fees and costs arising as a result thereof.

10.1. The provisions of this section shall apply to all employees.

The provisions of this section shall apply to all employees who are employed on a full-time basis. The provisions of this section shall not apply to part-time employees or to those employees who are employed on a casual basis. The provisions of this section shall not apply to those employees who are employed on a fixed-term basis.

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10.2. The provisions of this section shall apply to all employees.

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10.3. The provisions of this section shall apply to all employees.

The provisions of this section shall apply to all employees who are employed on a full-time basis. The provisions of this section shall not apply to part-time employees or to those employees who are employed on a casual basis. The provisions of this section shall not apply to those employees who are employed on a fixed-term basis.

Exhibit A-CPSO Prison Roofs-Item #4

1. Mandatory Site Visit to Confirm Scope/Specifications

Contact:

Scott Cupicciotti

Special Projects Manager/CMTS LLC

Cell: 904-445-9646

Email: scupicciotti@cmtsllc.com

*If not available, alternate contact person will be assigned.

MEMORANDUM FOR THE RECORD

DATE: 10/10/54

TO: SAC, NEW YORK

FROM: SAC, NEW YORK